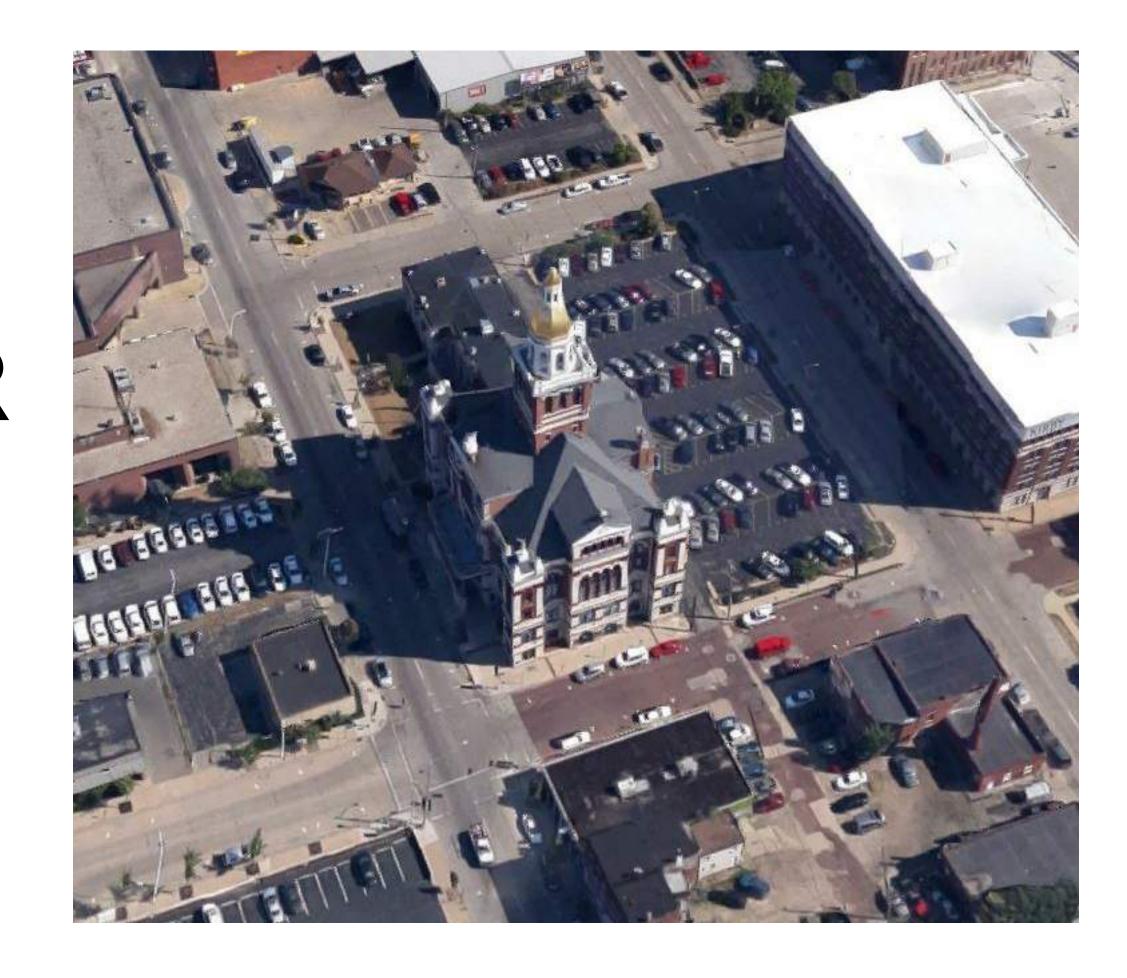
# DBQ COUNTY COURTHOUSE REROOF, PAINTING, AND MASONRY REPAIR

720 CENTRAL AVE, DUBUQUE, IOWA 52001



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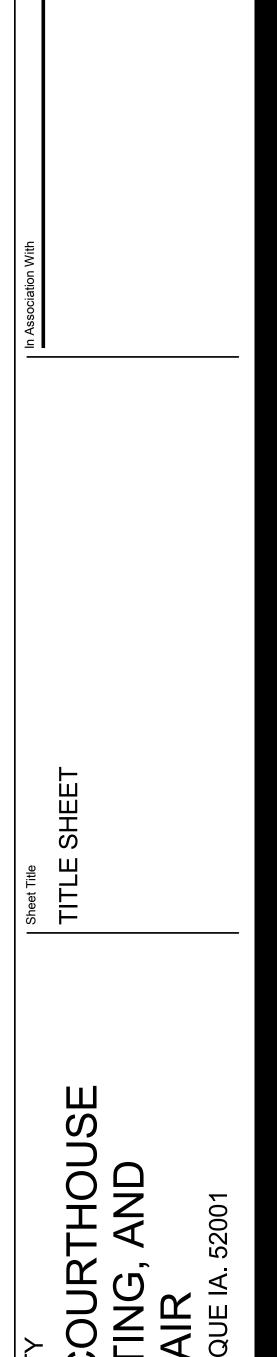
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CONTACT INFORMATION

ARCHITECT
FEH DESIGN
951 MAIN STREET
DUBUQUE, IOWA 52001
PH: (563)583-4900

EXISTING COURTHOUSE LOCATION AND SITE EXTENTS





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### ABBREVIATIONS: ARCHITECTURAL DRAWING LIST, SOME DESIGNATIONS MAY NOT BE APPLICABLE

AB A/C	ANCHOR BOLT AIR CONDITIONING	G	G, GND GA	GROUND GAUGE		QT B. BAD	QUARRY TILE
ACT ADA	ACOUSTICAL CEILING TILE AMERICANS WITH DISABILITIES ACT		GALV GB	GALVANIZED GYPSUM BOARD	R	R, RAD RA	RADIUS RETURN AIR
ADJ	ADJACENT		GB	GRAB BAR		RB	RUBBER BASE
AFF AFG	ABOVE FINISHED FLOOR ABOVE FINISHED GRADE		GC GFCI	GENERAL CONTRACTOR GROUND FAULT CIRCUIT INTERRUPTER		RCP RD	REFLECTED CEILING PLAN ROOF DRAIN
AGG	AGGREGATE		GHM	GALVANIZED HOLLOW METAL		REBAR	REINFORCING BAR
AHU	AIR HANDLING UNIT ALTERNATE		GL	GLASS CYRSLIM WALL BOARD		REC	RECEPTACLE REFRIGERATOR
ALT AL	ALIERNATE ALUMINUM		GWB GYP	GYPSUM WALL BOARD GYPSUM		REF REFL	REFLECTED
ANC	ANCHOR		GYP BD	GYPSUM BOARD		REFR	REFERENCE, REFER
ANOD ANSI	ANODIZED AMERICAN NATIONAL STANDARDS INSTITUTE	н	НВ	HOSE BIB		REINF REQ'D	REINFORCING REQUIRED
APC	ACOUSTICAL PANEL CEILING	'''	HC	HOLLOW CORE		RESIL	RESILIENT
APPROX			HDWD	HARDWOOD		RH	RANGE HOOD
ARCH AS REQ'D	ARCHITECT  AS REQUIRED		HDWR HM	HARDWARE HOLLOW METAL		RJ RM	REVEAL JOINT ROOM
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS		HORIZ	HORIZONTAL		RND	ROUND
ATTEN	ATTENUATION		HR HSS	HOUR HOLLOW STRUCTURAL STEEL		RO RTU	ROUGH OPENING ROOF TOP UNIT
BD	BOARD		HT	HEIGHT		RV	ROOF VENT
BIT BLDG	BITUMINOUS BUILDING		HTG HTR	HEATING HEATER	S	SA	SUPPLY AIR
BLK	BLOCK		HVAC	HEATER HEATING, VENTILATION, & AIR CONDITIONING	3	SB	SPLASH BLOCK
BLKG	BLOCKING		HW	HOT WATER		SC	SOLID CORE
BM BN	BEAM BULLNOSE	1	ID	INSIDE DIAMETER		SCHED SD	SCHEDULE SOAP DISPENSER
ВО	BOTTOM OF		IG	INSULATED GLASS		SECT	SECTION
BOC BOT	BOTTOM OF CONCRETE		IGHM	INSULATED GALVANIZED HOLLOW METAL INCH		SH V	SHEET VINYL
BRG	BOTTOM BEARING		IN INC	INCH		SHR SHT	SHOWER SHEET
BUR	BUILT-UP ROOFING		INSUL	INSULATED, INSULATION, INSULATING		SHTG	SHEETING
CAB	CABINET		INT	INTERIOR		SIM SQ	SIMILAR SQUARE
CB	CEMENT BOARD	J	JAN	JANITOR		SS	STAINLESS STEEL
CFCI CG	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED CORNER GUARD		JB JST	JUNCTION BOX		STD STL	STANDARD STEEL
CG CH BD	CHALK BOARD		JS1 JT	JOIST JOINT		STN	STAIN
CI	CAST IRON					STOR	STORAGE
CIP CJ	CAST-IN-PLACE CONTROL JOINT	L	LAM LAV	LAMINATE LAVATORY		STRUC SURF	STRUCTURAL SURFACE
CLG	CEILING		LGMF	LIGHT GAUGE METAL FRAMING		SUSP	SUSPENDED
CLR CMT	CLEAR CERAMIC MOSAIC TILE		LLV LTG	LONG LEG VERTICAL LIGHTING		SYM	SYMMETRICAL
CMU	CONCRETE MASONRY UNIT		LVL	LIGHTING LAMINATED VENEER LUMBER	Т	Т	TEMPERED
CNTR	COUNTER		LVR	LOUVER		T & G	TONGUE & GROOVE
CO COL	CLEAN OUT COLUMN	М	MACH	MACHINE		TB TEL	TACK BOARD TELEPHONE
CONC	CONCRETE	171	MAH	MAXIMUM ATTAINABLE HEIGHT			TELECOMMUNICATIONS
CONST CONT	CONSTRUCTION CONTINUOUS		MAN MANUF	MANUAL MANUFACTURER		TERR TF	TERRAZZO TOP FLANGE
COORD	COORDINATE		MAX	MAXIMUM MAXIMUM		THRU	THROUGH
CORR	CORRIDOR		MB	MARKER BOARD		TO	TOP OF
CP CPT	COMPOSITE PANEL CARPET		MC MECH	MECHANICAL CONTRACTOR MECHANICAL		TOB TOC	TOP OF BEAM TOP OF CONCRETE
CS	CONCRETE SEALED		MEMB	MEMBRANE		TOF	TOP OF FOOTING
CSK	COUNTERSINK		MEZZ	MEZZANINE		TOS	TOP OF STEEL
CT CTR	CERAMIC TILE CENTER, CENTERED		MFG MH	MANUFACTURER MANHOLE		TPD TRN	TOILET PAPER DISPENSER TRANSPARENT
CUH	CABINET UNIT HEATER		MIL	MILLIMETER		TS	TUBE STEEL
CW	CURTAIN WALL		MIN MISC	MINIMUM MISCELLANEOUS		T'STAT TV	THERMOSTAT TELEVISION
DBL	DOUBLE		MO	MASONRY OPENING		TYP	TYPICAL
DEMO	DEMOLITION		MRGB	MOISTURE RESISTANT GYPSUM BOARD			LINIFORM
DEPT DF	DEPARTMENT DRINKING FOUNTAIN		MTC MTD	EMPTY CONDUIT MOUNTED		UNF UNO	UNIFORM UNLESS NOTED OTHERWISE
DIA	DIAMETER		MTL	METAL		UON	UNLESS OTHERWISE NOTED
DIAG DIM	DIAGONAL DIMENSION		MUL	MULLION		UPS UR	UNINTERRUPTIBLE POWER SUPPLY URINAL
DISP	DISPENSER	Ν	(N)	NEW			
DN	DOWN		N/A	NOT APPLICABLE	V		VOLTS
DR DS	DOOR DOWNSPOUT		NFPA NIC	NATIONAL FIRE PROTECTION ASSOCIATION NOT IN CONTRACT		VAV VB	VARIABLE AIR SUPPLY VOLUME VINYL BASE
DTL	DETAIL		NOM	NOMINAL		VCT	VINYL COMPOSITION TILE
DW DWG	DISHWASHER DRAWING		NTS NUM	NOT TO SCALE NUMBER		VER VERT	VERIFY VERTICAL
DWG DWL	DOWEL		IAOINI			VEST	VESTIBULE
		0	OC	ON CENTER		VSF	VINYL SHEET FLOORING
E) EA	EXISTING EACH		OD OFCI	OVERFLOW DRAIN, OUTSIDE DIAMETER OWNER FURNISHED, CONTRACTOR INSTALLED		VTR VWC	VENT THROUGH ROOF VINYL WALL COVERING
EC	ELECTRICAL CONTRACTOR		OFOI	OWNER FURNISHED, OWNER INSTALLED			
EIFS EJ	EXTERIOR INSULATION AND FINISH SYSTEM EXPANSION JOINT		OH OPNG	OVERHEAD OPENING	W	W W/	WATTS WITH
ELEV	ELEVATION		OPP	OPPOSITE		W/O	WITHOUT
ELEC EMERG	ELECTRICAL EMERGENCY		OTS	OPEN TO STRUCTURE		WC WD	WATER CLOSET WOOD
ENAM	ENAMEL	Р	P BD	PARTICLE BOARD		WH	WATER HEATER
ENCL	ENCLOSURE		PA	PUBLIC ADDRESS		WP	WATERPROOF
EQ EQUIP	EQUAL EQUIPMENT		PART PC	PARTIAL PRE-CAST		WR WT	WATER RESISTANT WEIGHT
EVTR	ELEVATOR		PCLN	PORCELAIN		WW	WINDOW WALL
EXH EXST	EXHAUST EXISTING		PJ PL	PANEL JOINT PROPERTY LINE		WWF	WELDED WIRE FABRIC
EXP	EXPOSED		PLAM	PLASTIC LAMINATE			
EXT	EXTERIOR		PLAS	PLASTER			
FA	FIRE ALARM		PLT PLYWD	PLATE PLYWOOD			
FCU	FAN COIL UNIT		PNL	PANEL			
FD FDN	FLOOR DRAIN FOUNDATION		PNT PR	PAINT PAIR			
FDN FE	FIRE EXTINGUISHER		PREFIN	PREFINISHED			
FEC	FIRE EXTINGUISHER CABINET		PRI	PRIMARY			
FF FHC	FACTORY FINISH FIRE HOSE CABINET		PSF PSI	POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH			
FHMS	FLAT HEAD MACHINE SCREW		PT	POINT			
FIN FIXT	FINISH FIXTURE		PTN PVC	PARTITION POLYVINYL CHLORIDE			
FIX I FLASH	FLASHING		PWR	POLYVINYL CHLORIDE POWER			
FLEX	FLEXIBLE						
FLUOR FLR	FLUORESCENT FLOOR						
FOF	FACE OF FINISH						
FR FRP	FRAME FIBERGLASS REINFORCED POLYESTER						
1.131							
FT	FOOT						

- 1. CONTRACTOR TO OBTAIN NECESSARY PERMITS FROM AUTHORITY HAVING JURISDICTION. 2. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND UTILITY LOCATIONS PRIOR TO BEGINNING WORK. REPORT ANY
- DISCREPANCIES TO THE OWNER'S REPRESENTATIVE AS SOON AS POSSIBLE. 3. VERIFY SITE SECURITY AND CONSTRUCTION FENCE LOCATION WITH OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION
- 4. PROVIDE ALL EXISTING NECESSARY PERSONNEL, EQUIPMENT, AND TEMPORARY BARRICADES TO PROTECT THE PUBLIC DURING EXCAVATION WORK, PROTECT STRUCTURES, SIDEWALKS, PAVEMENT, FENCES, BENCHES, AND OTHER FACILITIES WITHIN OR ADJACENT TO THE CONSTRUCTION SITE FROM DAMAGE. REPAIR TO CITY STANDARDS ANY BROKEN OR CRACKED SIDEWALK.
- CONSTRUCTION OPERATIONS UNDER THIS CONTRACT TO MATCH CONDITIONS PRIOR TO DAMAGE.

- 1. THE CONTRACTOR SHALL EXAMINE SITE AND PORTIONS THEREOF TO ASCERTAIN AND CHECK ALL EXISTING CONDITIONS AND DIMENSIONS WHICH MAY AFFECT THE CONTRACTOR'S WORK. NO ALLOWANCE SHALL SUBSEQUENTLY BE MADE IN THE CONTRACTOR'S BEHALF FOR ANY EXPENSE TO WHICH THE CONTRACTOR MAY PAY DUE TO FAILURE OR NEGLECT ON ONE'S PART TO MAKE AN EXAMINATION. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE ARCHITECT PRIOR TO BID SUBMISSION. 2. CONTRACTOR SHALL MAKE EVERY EFFORT TO MINIMIZE DUST AND NOISE TO SURROUNDING PROPERTIES. SITE ACCESS SHALL BE
- LIMITED TO LOCATIONS COORDINATIED WITH OWNER. 3. PROVIDE PLASTIC SHEETS (OR OTHER) FOR SAFETY AND PROTECTION FROM NOISE, DUST, ETC. OF OCCUPIED AREAS DURING CONSTRUCTION AND DEMOLITION.
- CONSTRUCTION AND REPLACE OR REPAIR AS NEEDED. 5. CONTRACTOR NOTE: SOME ANCILLARY/MINOR DEMOLITION AND PATCH/REPAIR MAY NOT BE SHOWN SPECIFICALLY. CONTRACTOR SHALL PROVIDE AND COORDINATE ALL ANCILLARY/MINOR WORK REQUIRED TO COMPLETE NEW WORK AS DESIGNED. VERIFY CONDITIONS WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- 6. THE CONTRACTOR IS CAUTIONED THAT THIS PROJECT INVOLVES ALTERATION TO EXISTING FACILITIES. WORK WHICH IS REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETELY OPERABLE INSTALLATION WITHIN THE SCOPE OF THE WORK, BUT WHICH IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED AS PART OF THE CONTRACT AND INCLUDED IN THE BID. 7. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND CONSTRUCTION REPRESENTATIVE IMMEDIATELY OF ANY UTILITIES NOT IDENTIFIED FOUND IN CONSTRUCTION TO BE REMOVED.
- 8. ANY ITEMS DESCRIBED IN THESE DRAWINGS WITHOUT A "NEW" (N) OR "EXISTING" (E) DESIGNATION SHALL BE CONSIDERED NEW. 9. EXISTING BUILDING DIMENSIONS AS SHOWN ON THE PLANS MAY DIFFER PLUS OR MINUS; FIELD VERIFY. 10. PREPARE SURFACES TO RECEIVE FINISHES. PATCH ALL EXISTING WORK ALTERED BY NEW WORK. ALL NEW AND PATCHED
- THE PROJECT MANUAL. IN PATCHED AREAS OR ANY AREA WHERE A FINISH IS NOT IDENTIFIED, THE AREA SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR, TEXTURE, AND MANUFACTURE. ANY EXISTING WORK, I.E. FLOOR TILES, WALL TILES, ETC. WHICH ARE DAMAGED OR STAINED, ETC. SHALL BE REPAIRED OR REPLACED AS NECESSARY WITH NEW MATCHING MATERIAL. 11. THE EXISTING OCCUPANTS INTEND TO OCCUPY THE BUILDING AND MAINTAIN OPERATIONS. SUBMIT A DEMOLITION PLAN INDICATING
- 13. UPON INVESTIGATION OF EXISTING CONSTRUCTION VISIBLE AFTER DEMOLITION, IF DAMAGE TO SUBSTRUCTURE IS EVIDENT,

- 1. THESE CONSTRUCTION DRAWING SHEETS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT MANUAL. . WHEN DRAWINGS AND PROJECT MANUAL CONFLICT, BIDDER SHALL REQUEST WRITTEN CLARIFICATION FROM THE ARCHITECT PRIOR TO BIDDING. IF CLARIFICATION IS NOT OBTAINED PRIOR TO BIDDING, THE FOLLOWING SHALL BE USED TO DETERMINE SCOPE OF BID: MATERIAL SIZE AND QUANTITY SHALL BE DETERMINED BY DRAWINGS, QUALITY IS DETERMINED BY PROJECT MANUAL. FINAL
- 4. ANY MAJOR STRUCTURAL DAMAGE SHALL BE RECORDED AND BROUGHT TO THE ATTENTION OF THE ARCHITECT. 5. THE CONTRACTOR SHALL ARRANGE FOR THE PREMISES TO BE MAINTAINED IN AN ORDERLY MANNER THROUGHOUT THE COURSE OF THE JOB. MAINTAIN CLEANLINESS THROUGHOUT - DO NOT BLOCK EXITS, ENTRANCES, LOBBIES, CORRIDORS, ETC. PROTECT AREA FROM DAMAGE WHICH MAY OCCUR FROM DEMOLITION DUST, WATER, ETC. PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC. AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE OF EXISTING STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER AT THE EXPENSE OF THE
- MASONRY WORK. FOLLOW ALL SAFETY STANDARDS; PROVIDE GUARDRAILS. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL LEFTOVER MATERIALS, DEBRIS, TOOLS, AND EQUIPMENT INVOLVED
- AT THE CONCLUSION OF THE INSTALLATION. THE CONTRACTOR SHALL LEAVE ALL AREAS CLEAN.
- 8. CONTRACTOR SHALL TAKE PRECAUTIONS TO PREVENT WORKERS FROM INJURY OR EXPOSURE TO DANGEROUS MATERIALS DURING THE WORK BY THE CONTRACTOR, AS PER OSHA REGULATIONS AND FIRE-WATCH AS PER THE SUPPLEMENTAL CONDITIONS IN THE
- 9. DO NOT SCALE DRAWINGS. NOTIFY ARCHITECT / ENGINEER IF ADDITIONAL DIMENSIONS ARE REQUIRED OR DISCREPANCIES
- LEGEND' TABLES THIS SHEET.
- RETAINED AND REPAIRED IN LIEU OF REPLACED. 15. CONTRACTOR TO PROTECT THE EXISTING LIGHTNING PROTECTION SYSTEM AND MAINTAIN OPERATION DURING CONSTRUCTION

6'-6" COLOR: LIGHT GRAY-PANTONE: 428U -BACKGROUND COLOR: DARK GRAY RGB: R173-G179-B182 PANTONE: 432U CMYK: C33-M24-Y23-K0 RGB: R105-G108-B113 DUBUQUE COUNTY COURTHOUSE CMYK: C61-M50-Y45-K15 REROOF, PAINT, MASONRY REPAIR TEXT: 2" FONT: APEX SANS- MEDIUM TEXT: 1 1/2" **COMPANY NAME** FONT: APEX SANS GENERAL CONTRACTOR **COMPANY NAME** COLOR: DARK GRAY-MASONRY CONTRACTOR PANTONE: 432U -COURTHOUSE RGB: R105-G108-B113 CMYK: C61-M50-Y45-K15 COMPANY NAME PAINTING CONTRACTOR COLOR: LIGHT GRAY-PANTONE: 428U -FEH WEBSITE-RGB: R173-G179-B182 **COMPANY NAME** BACKGROUND COLOR: PURPLE CMYK: C33-M24-Y23-K0 PANTONE: 2587U ROOFING CONTRACTOR RGB: R149-G179-B182 CMYK: C45-M64-Y0-K0 -WHITE

1 PROJECT SIGN ELEVATION SCALE: 1 1/2" = 1'-0"

SITE GENERAL NOTES

CURB, AND CUTTER DAMAGED BY CONSTRUCTION. 5. CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE SURROUNDING AREAS. REPAIR ANY DAMAGES RESULTING FROM

ARCHITECTURAL DEMOLITION NOTES

4. REMOVE PORTIONS OF EXISTING CONSTRUCTION AS NOTED ON THE DRAWINGS AND AS NECESSARY TO ACCOMMODATE THE NEW

SURFACES SHALL BE SMOOTH, CONTINUOUSLY FREE OF IMPERFECTIONS AND IN PROPER CONDITION TO RECEIVE THE FINISH PER

PROCEDURES AND OPERATIONAL SEQUENCING FOR REVIEW AND ACCEPTANCE BY THE OWNER AND ARCHITECT. 12. AREAS NEEDING REPAIR OR REPLACEMENT SHALL BE DONE SUCH THAT THE EXISTING PROFILES WILL BE REPLICATED. ELEMENTS SHALL BE REPAIRED PRIOR TO REPAIRING OR REPLACING FINISH METAL SURFACE.

ARCHITECTURAL GENERAL NOTES

DETERMINATION SHALL BE BY THE ARCHITECT OR ENGINEER PRIOR TO CONSTRUCTION OR FABRICATION. 3. ERRORS ARE TO BE REPORTED IMMEDIATELY TO THE ARCHITECT.

6. THE CONTRACTOR SHALL ERECT AND MAINTAIN SCAFFOLDING FOR USE BY ALL TRADES DURING REROOFING, PAINTING, AND

10. ALL EXISTING FACILITY DIMENSIONS ARE TO BE VERIFIED ON SITE.

11. CONTRACTOR TO VERIFY EXISTING CONDITIONS AND DIMENSIONS PRIOR TO SHOP DRAWING APPROVAL AND CONSTRUCTION. SEE PROJECT MANUAL WHERE FIELD VERIFICATION CANNOT BE OBTAINED PRIOR TO SHOP DRAWING APPROVAL 12. ABBREVIATIONS AND MATERIAL REPRESENTATIONS ON ARCHITECTURAL DRAWINGS ARE SHOWN ON 'ABBREVIATIONS' AND 'MATERIAL

13. FOR ADDITIONAL PLAN INFORMATION REFER TO IMAGES, AS NOTED ON THE DRAWINGS. 14. ALL WORK SHALL MATCH THE HISTORICAL INTEGRITY OF THE ORIGINAL STRUCTURE. WHEN POSSIBLE, MATERIALS SHALL BE

16. ALL DOWNSLOUTS TO BE PREPARED FOR PAINTING AND PAINTED AS PART OF ALTERNATE.

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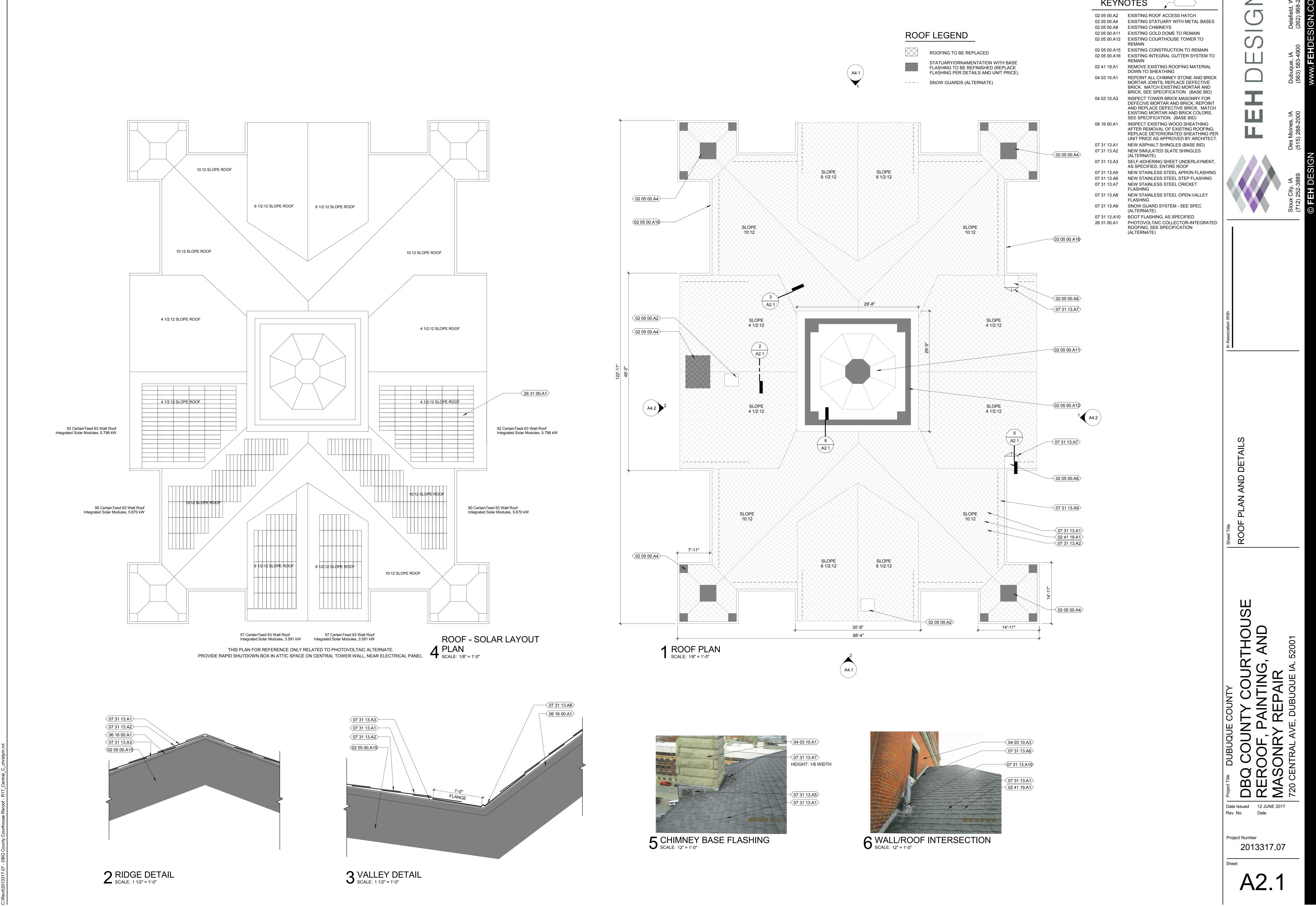
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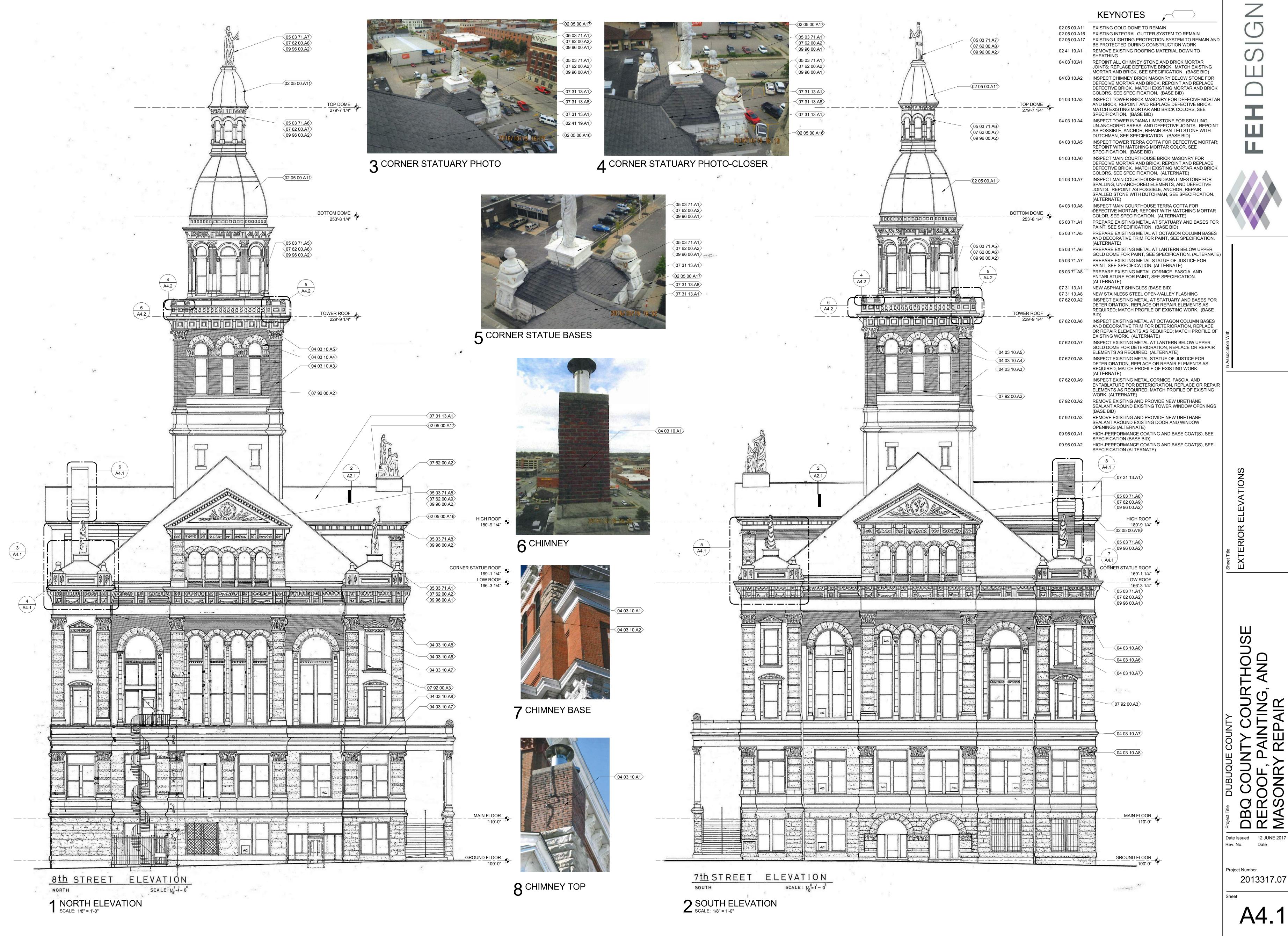
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FOOTING

**FURRING** 

FIELD VERIFY





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