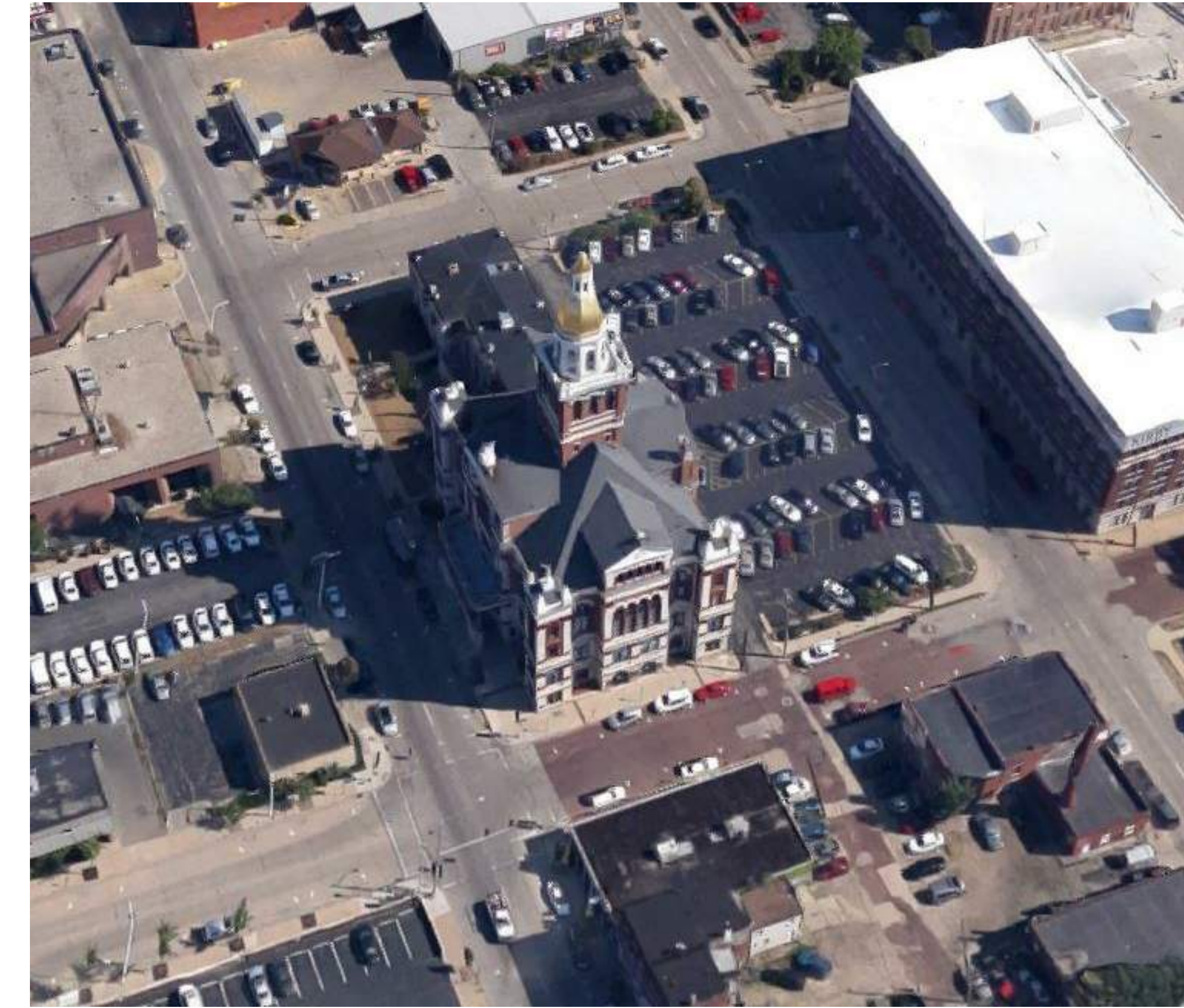


# DBQ COUNTY COURTHOUSE REROOF, PAINTING, AND MASONRY REPAIR

720 CENTRAL AVE, DUBUQUE, IOWA 52001

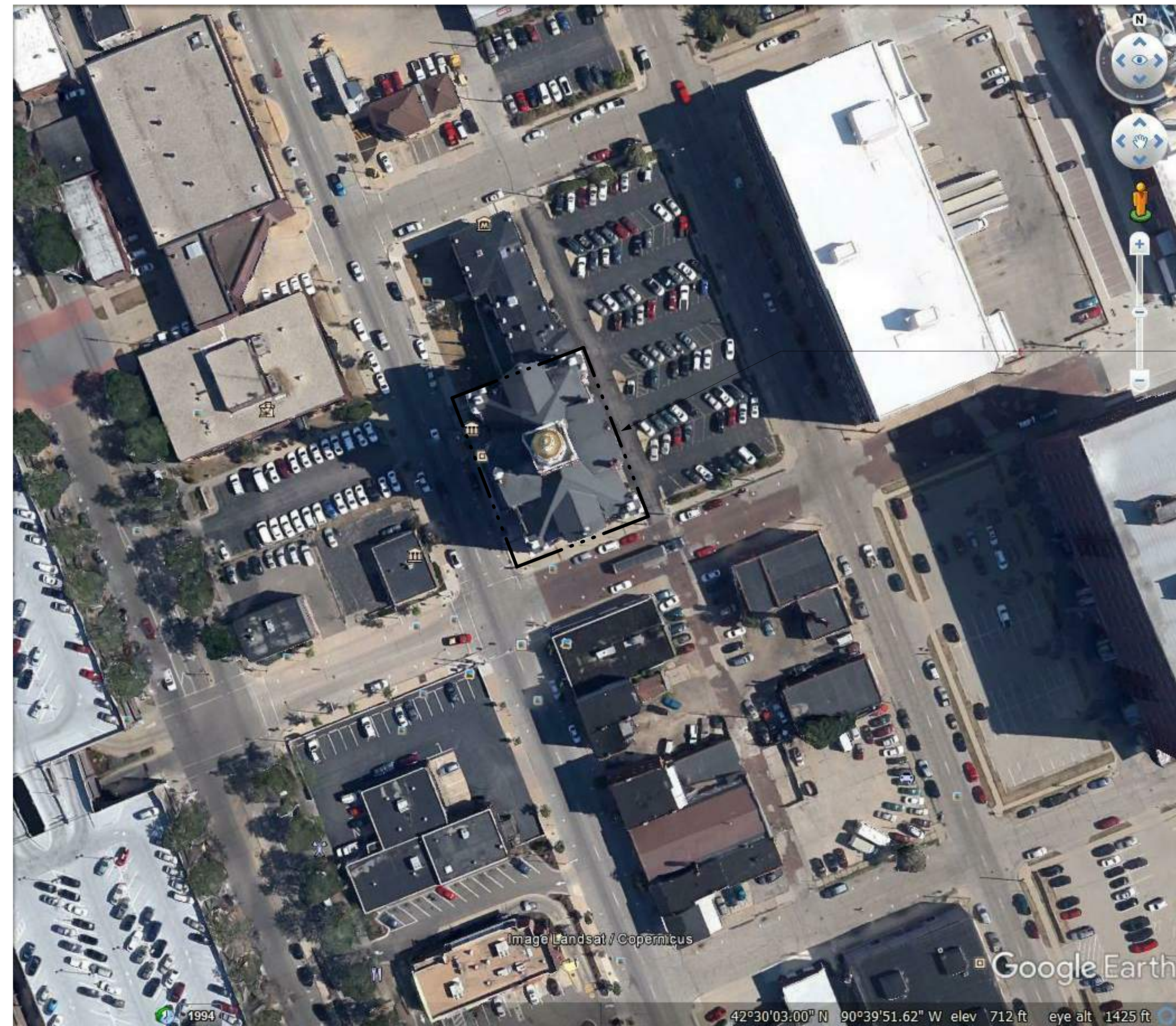


## SHEET INDEX

GENERAL	
TS	TITLE SHEET
AG1.1	GENERAL NOTES, ABBREVIATIONS, SIGN
ARCHITECTURAL	
A2.1	ROOF PLAN AND DETAILS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS

### CONTACT INFORMATION

**ARCHITECT**  
 FEH DESIGN  
 951 MAIN STREET  
 DUBUQUE, IOWA 52001  
 PH: (563)583-4900



EXISTING COURTHOUSE LOCATION AND SITE EXTENTS

1 COURTHOUSE AERIAL VIEW

Sheet Title  
TITLE SHEET

Project Title  
**DUBUQUE COUNTY  
DBQ COUNTY COURTHOUSE  
REROOF, PAINTING, AND  
MASONRY REPAIR**  
720 CENTRAL AVE, DUBUQUE IA. 52001

Date Issued  
12 JUNE 2017  
Rev. No. Date

Project Number  
2013317.07

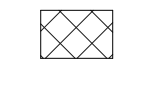

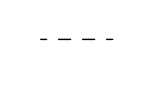
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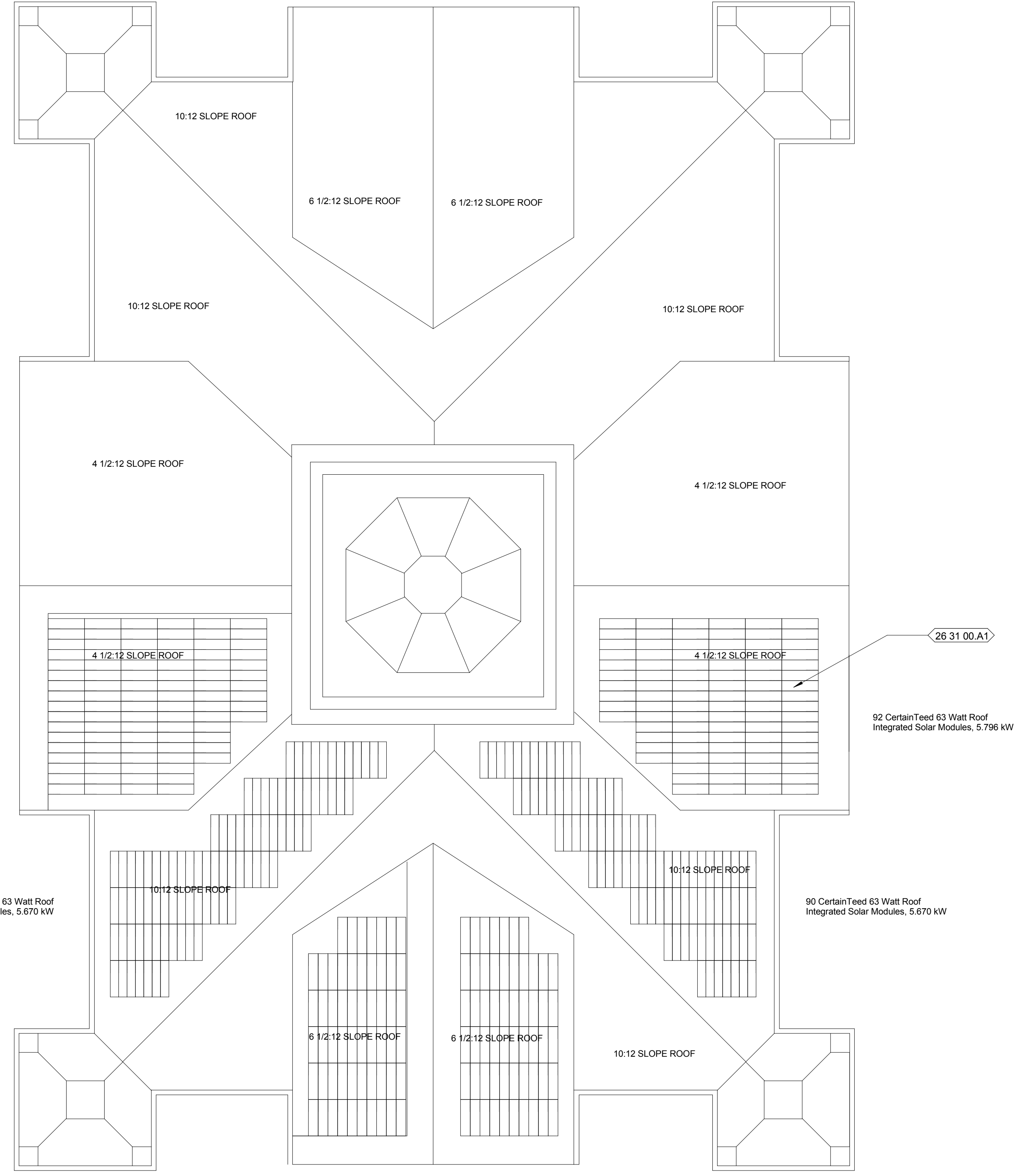


**KEYNOTES**

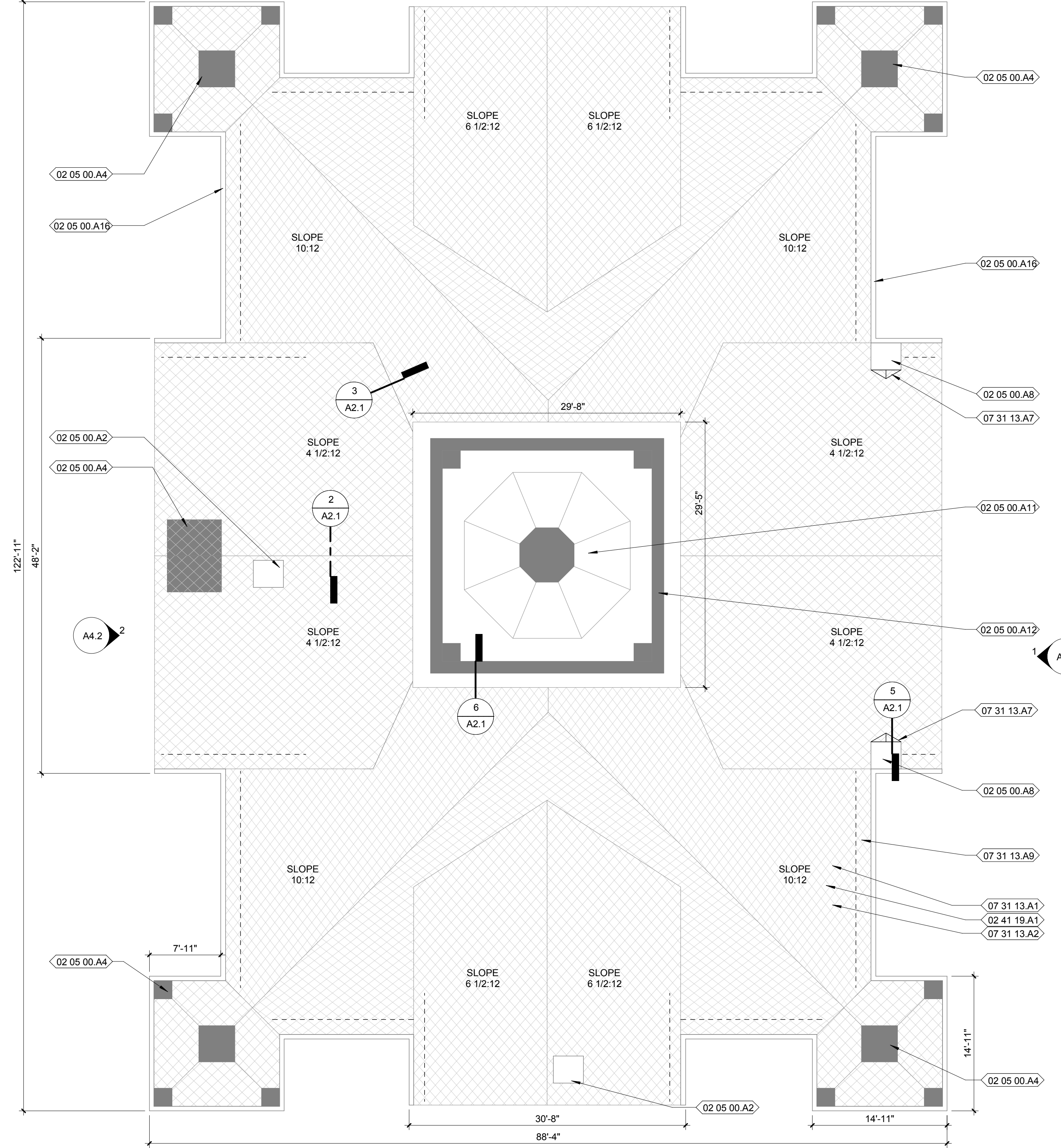
- 02 05 00 A2 EXISTING ROOF ACCESS HATCH
- 02 05 00 A4 EXISTING STATUARY WITH METAL BASES
- 02 05 00 A8 EXISTING CHIMNEYS
- 02 05 00 A11 EXISTING GOLD DOME TO REMAIN
- 02 05 00 A12 EXISTING COURTHOUSE TOWER TO REMAIN
- 02 05 00 A15 EXISTING CONSTRUCTION TO REMAIN
- 02 05 00 A16 EXISTING INTEGRAL GUTTER SYSTEM TO REMAIN
- 02 41 19 A1 REMOVE EXISTING ROOFING MATERIAL DOWN TO SHEATHING
- 04 03 10 A1 REPOINT ALL CHIMNEY STONE AND BRICK MORTAR JOINTS; REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK. SEE SPECIFICATION. (BASE BID)
- 04 03 10 A3 INSPECT TOWER BRICK MASONRY FOR DEFECTIVE MORTAR AND BRICK. REPOINT AND REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK COLORS. SEE SPECIFICATION. (BASE BID)
- 06 16 00 A1 INSPECT EXISTING WOOD SHEATHING AFTER REMOVAL OF EXISTING ROOFING; REPLACE DETERIORATED SHEATHING PER UNIT PRICE AS APPROVED BY ARCHITECT.
- 07 31 13 A1 NEW ASPHALT SHINGLES (BASE BID)
- 07 31 13 A2 NEW SIMULATED SLATE SHINGLES (ALTERNATE)
- 07 31 13 A3 SELF-ADHERING SHEET UNDERLAYMENT, AS SPECIFIED, ENTIRE ROOF
- 07 31 13 A5 NEW STAINLESS STEEL APRON FLASHING
- 07 31 13 A6 NEW STAINLESS STEEL STEP FLASHING
- 07 31 13 A7 NEW STAINLESS STEEL CRICKET FLASHING
- 07 31 13 A8 NEW STAINLESS STEEL OPEN-VALLEY FLASHING
- 07 31 13 A9 SNOW GUARD SYSTEM - SEE SPEC (ALTERNATE)
- 07 31 13 A10 BOOT FLASHING, AS SPECIFIED
- 26 31 00 A1 PHOTOVOLTAIC COLLECTOR-INTEGRATED ROOFING, SEE SPECIFICATION (ALTERNATE)

**ROOF LEGEND**

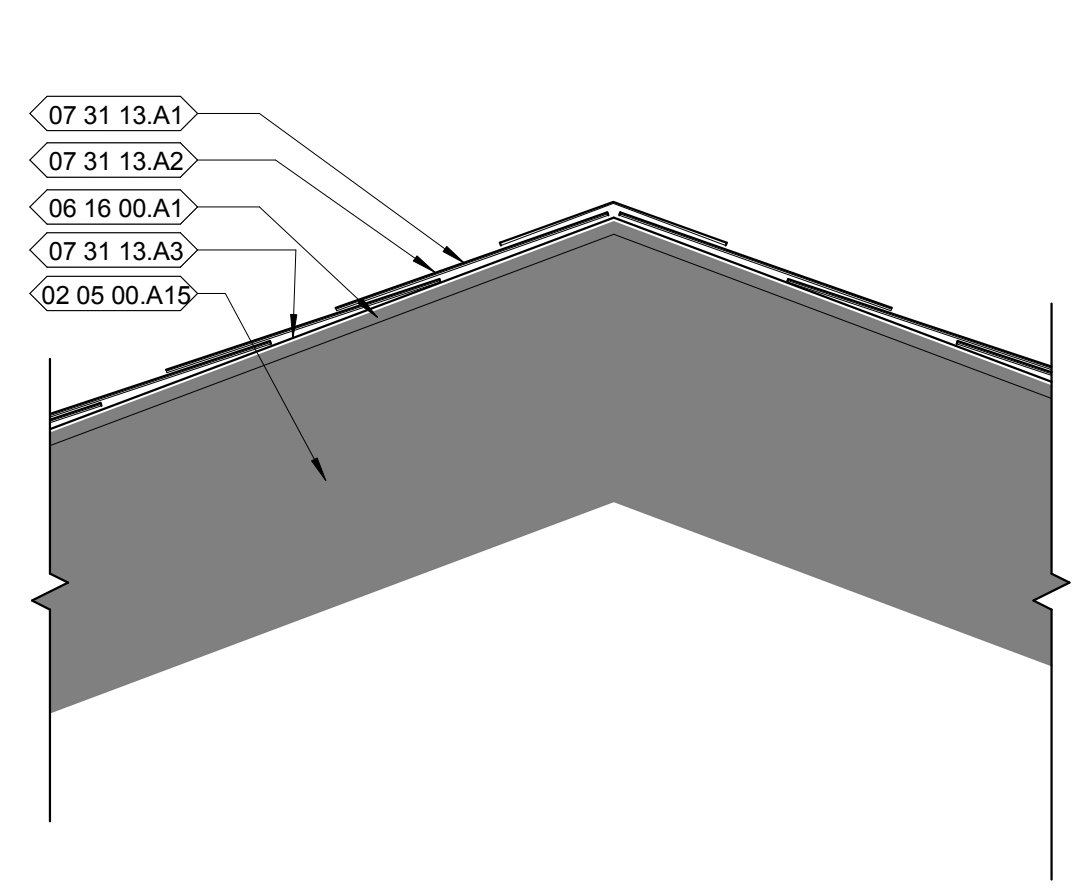
-  ROOFING TO BE REPLACED
-  STATUARY ORNAMENTATION WITH BASE FLASHING TO BE REFINISHED (REPLACE FLASHING PER DETAILS AND UNIT PRICE)
-  SNOW GUARDS (ALTERNATE)



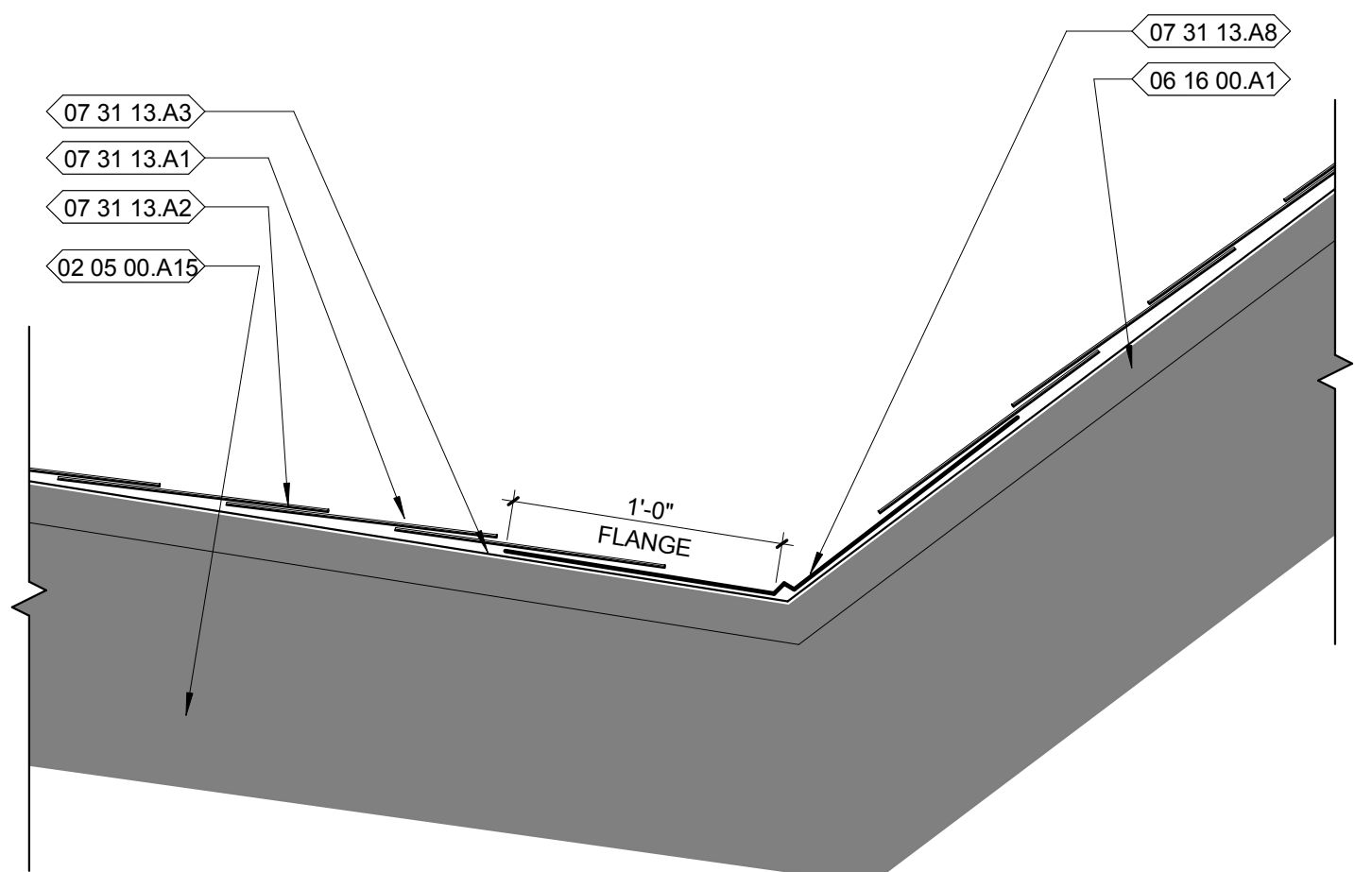
**4 ROOF - SOLAR LAYOUT PLAN**  
 SCALE: 1/8" = 1'-0"  
 THIS PLAN FOR REFERENCE ONLY RELATED TO PHOTOVOLTAIC ALTERNATE.  
 PROVIDE RAPID SHUTDOWN BOX IN ATTIC SPACE ON CENTRAL TOWER WALL, NEAR ELECTRICAL PANEL.



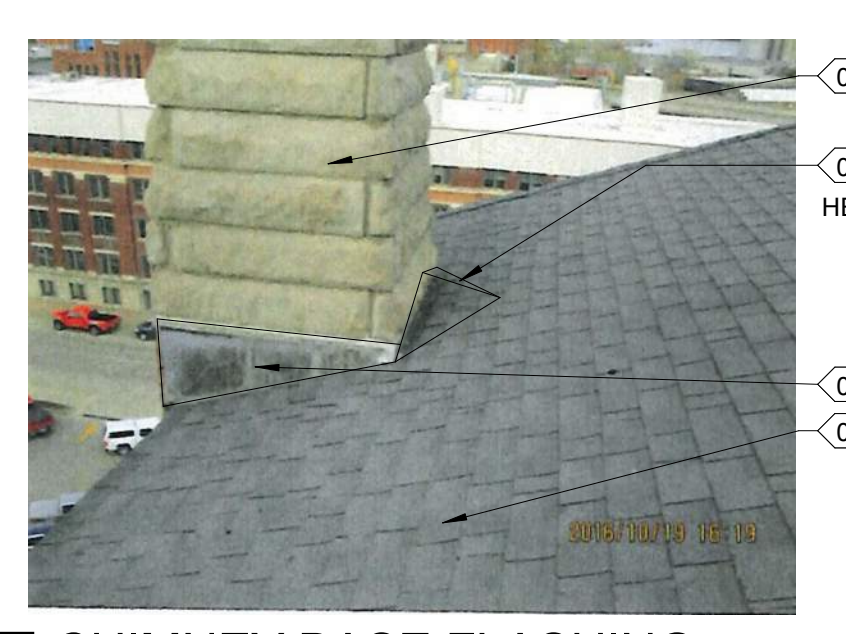
**1 ROOF PLAN**  
 SCALE: 1/8" = 1'-0"



**2 RIDGE DETAIL**  
 SCALE: 1 1/2" = 1'-0"



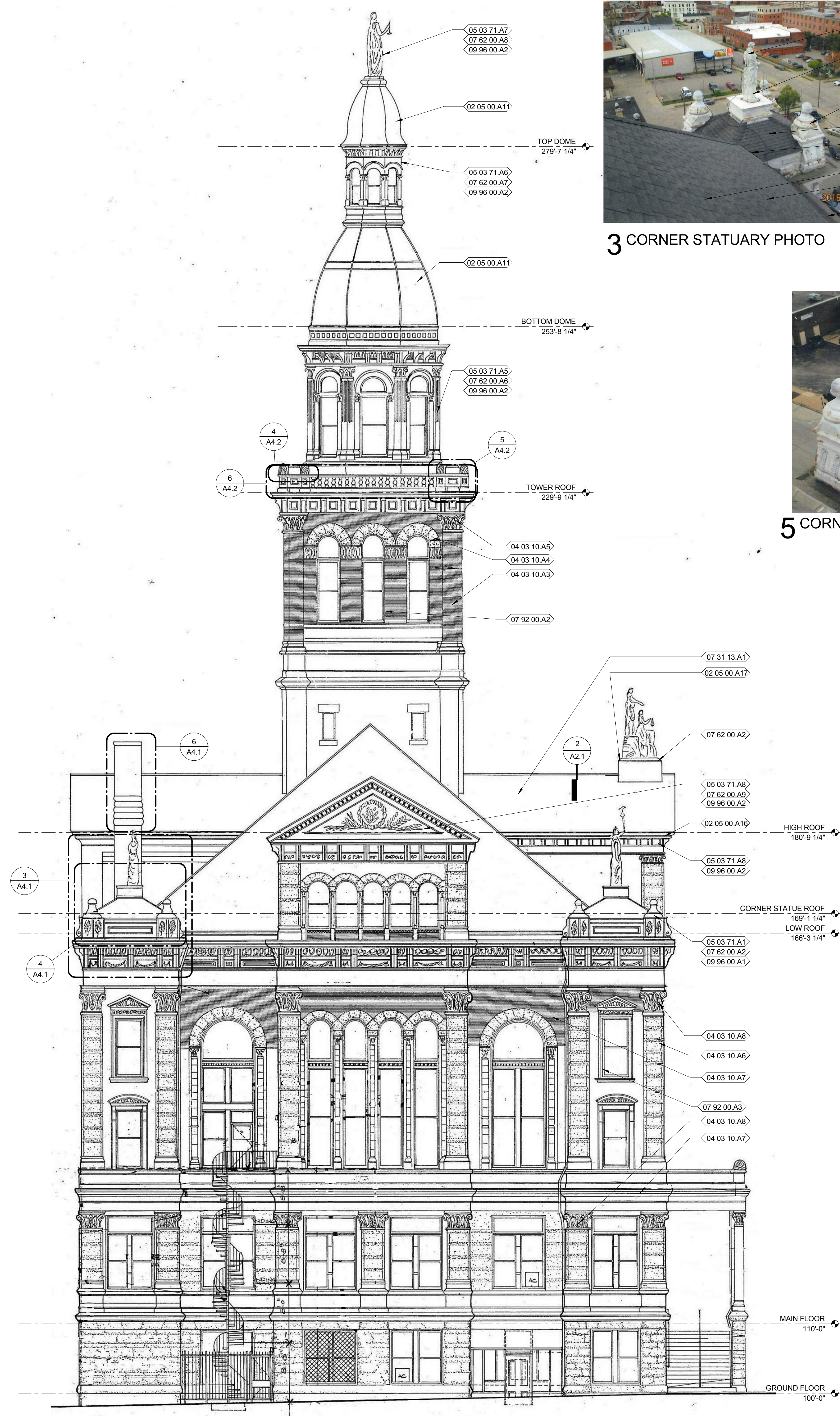
**3 VALLEY DETAIL**  
 SCALE: 1 1/2" = 1'-0"



**5 CHIMNEY BASE FLASHING**  
 SCALE: 12" = 1'-0"



**6 WALL/ROOF INTERSECTION**  
 SCALE: 12" = 1'-0"



8th STREET ELEVATION

NORTH SCALE: 1/8" = 1'-0"

1 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



3 CORNER STATUARY PHOTO



4 CORNER STATUARY PHOTO-CLOSER



5 CORNER STATUE BASES



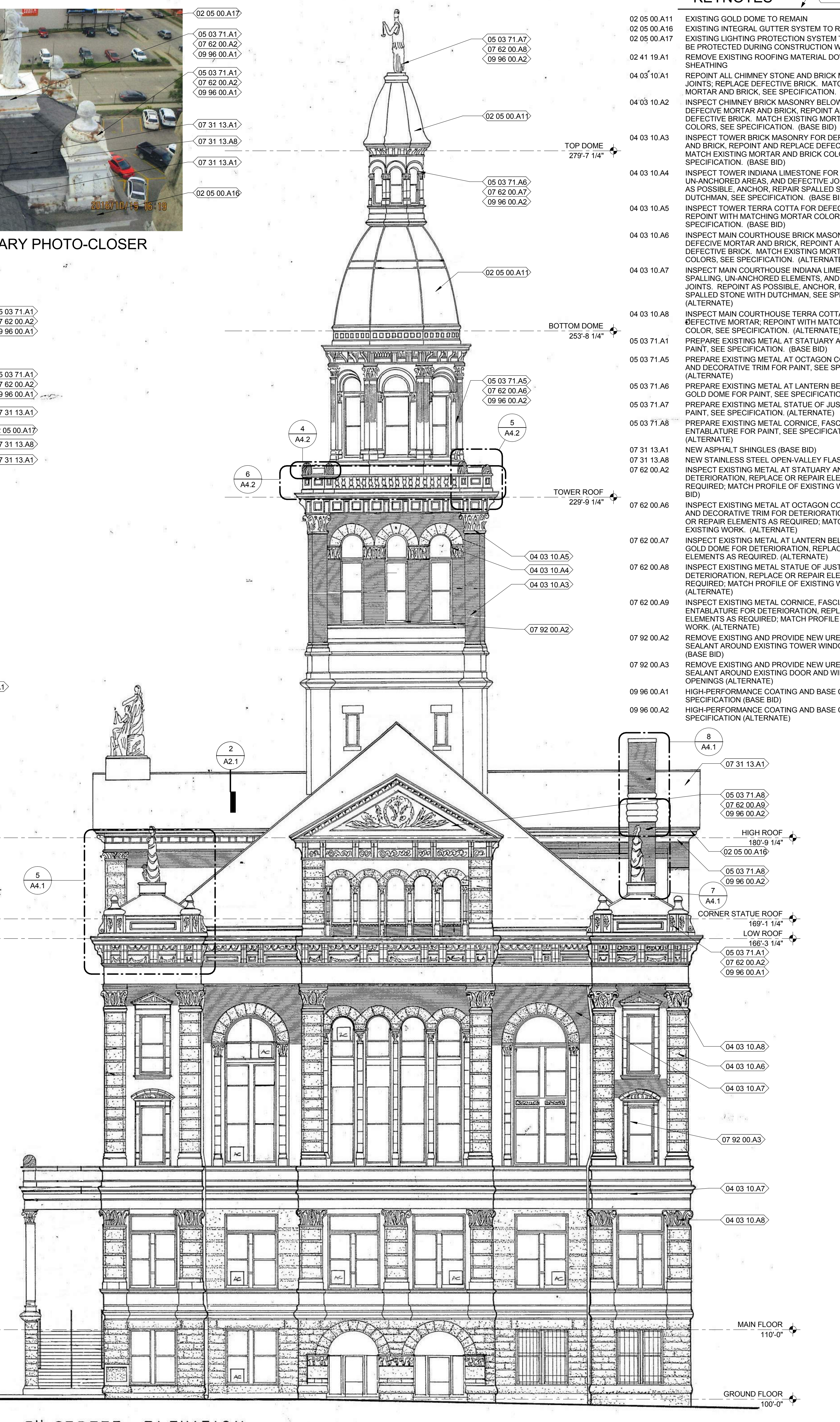
6 CHIMNEY



7 CHIMNEY BASE



8 CHIMNEY TOP



7th STREET ELEVATION

SOUTH SCALE: 1/8" = 1'-0"

2 SOUTH ELEVATION

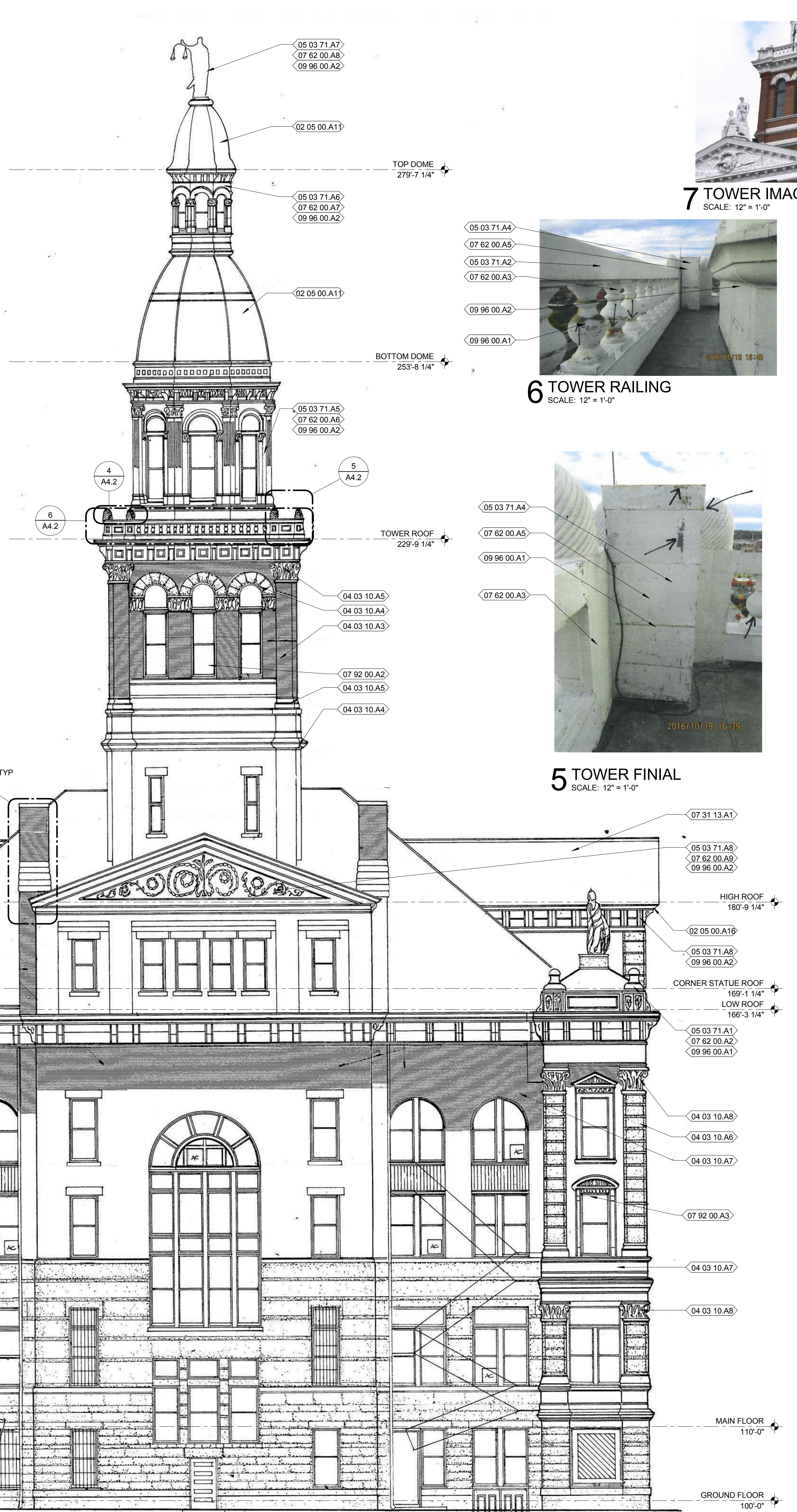
SCALE: 1/8" = 1'-0"

KEYNOTES

- 02 05 00.A11 EXISTING GOLD DOME TO REMAIN
- 02 05 00.A16 EXISTING INTEGRAL GUTTER SYSTEM TO REMAIN AND BE PROTECTED DURING CONSTRUCTION WORK
- 02 41 19.A1 REMOVE EXISTING ROOFING MATERIAL DOWN TO SHEATHING
- 04 03 10.A1 REPOINT ALL CHIMNEY STONE AND BRICK MORTAR JOINTS. REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A2 INSPECT CHIMNEY BRICK MASONRY BELOW STONE FOR DEFECTIVE MORTAR AND BRICK. REPOINT AND REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK COLORS. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A3 INSPECT TOWER BRICK MASONRY FOR DEFECTIVE MORTAR AND BRICK. REPOINT AND REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK COLORS. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A4 INSPECT TOWER INDIANA LIMESTONE FOR SPALLING, UN-ANCHORED AREAS, AND DEFECTIVE JOINTS. REPOINT AS POSSIBLE. ANCHOR, REPAIR SPALLED STONE WITH DUTCHMAN. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A5 INSPECT TOWER TERRA COTTA FOR DEFECTIVE MORTAR. REPOINT WITH MATCHING MORTAR COLOR. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A6 INSPECT MAIN COURTHOUSE BRICK MASONRY FOR DEFECTIVE MORTAR AND BRICK. REPOINT AND REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK COLORS. SEE SPECIFICATION. (ALTERNATE)
- 04 03 10.A7 INSPECT MAIN COURTHOUSE INDIANA LIMESTONE FOR SPALLING, UN-ANCHORED ELEMENTS, AND DEFECTIVE JOINTS. REPOINT AS POSSIBLE. ANCHOR, REPAIR SPALLED STONE WITH DUTCHMAN. SEE SPECIFICATION. (ALTERNATE)
- 04 03 10.A8 INSPECT MAIN COURTHOUSE TERRA COTTA FOR DEFECTIVE MORTAR. REPOINT WITH MATCHING MORTAR COLOR. SEE SPECIFICATION. (ALTERNATE)
- 05 03 71.A1 PREPARE EXISTING METAL AT STATUARY AND BASES FOR PAINT. SEE SPECIFICATION. (BASE BID)
- 05 03 71.A5 PREPARE EXISTING METAL AT OCTAGON COLUMN BASES AND DECORATIVE TRIM FOR PAINT. SEE SPECIFICATION. (ALTERNATE)
- 05 03 71.A6 PREPARE EXISTING METAL AT LANTERN BELOW UPPER GOLD DOME FOR PAINT. SEE SPECIFICATION. (ALTERNATE)
- 05 03 71.A7 PREPARE EXISTING METAL STATUE OF JUSTICE FOR PAINT. SEE SPECIFICATION. (ALTERNATE)
- 05 03 71.A8 PREPARE EXISTING METAL CORNICE, FASCIA, AND ENTABLATURE FOR PAINT. SEE SPECIFICATION. (ALTERNATE)
- 07 31 13.A1 NEW ASPHALT SHINGLES (BASE BID)
- 07 31 13.A8 NEW STAINLESS STEEL OPEN-VALLEY FLASHING
- 07 62.00.A2 INSPECT EXISTING METAL AT STATUARY AND BASES FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED. MATCH PROFILE OF EXISTING WORK. (BASE BID)
- 07 62.00.A6 INSPECT EXISTING METAL AT OCTAGON COLUMN BASES AND DECORATIVE TRIM FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED. MATCH PROFILE OF EXISTING WORK. (ALTERNATE)
- 07 62.00.A7 INSPECT EXISTING METAL AT LANTERN BELOW UPPER GOLD DOME FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED. (ALTERNATE)
- 07 62.00.A8 INSPECT EXISTING METAL STATUE OF JUSTICE FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED. MATCH PROFILE OF EXISTING WORK. (ALTERNATE)
- 07 62.00.A9 INSPECT EXISTING METAL CORNICE, FASCIA, AND ENTABLATURE FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED. MATCH PROFILE OF EXISTING WORK. (ALTERNATE)
- 07 92.00.A2 REMOVE EXISTING AND PROVIDE NEW URETHANE SEALANT AROUND EXISTING TOWER WINDOW OPENINGS (BASE BID)
- 07 92.00.A3 REMOVE EXISTING AND PROVIDE NEW URETHANE SEALANT AROUND EXISTING DOOR AND WINDOW OPENINGS (ALTERNATE)
- 09 96.00.A1 HIGH-PERFORMANCE COATING AND BASE COAT(S). SEE SPECIFICATION (BASE BID)
- 09 96.00.A2 HIGH-PERFORMANCE COATING AND BASE COAT(S). SEE SPECIFICATION (ALTERNATE)

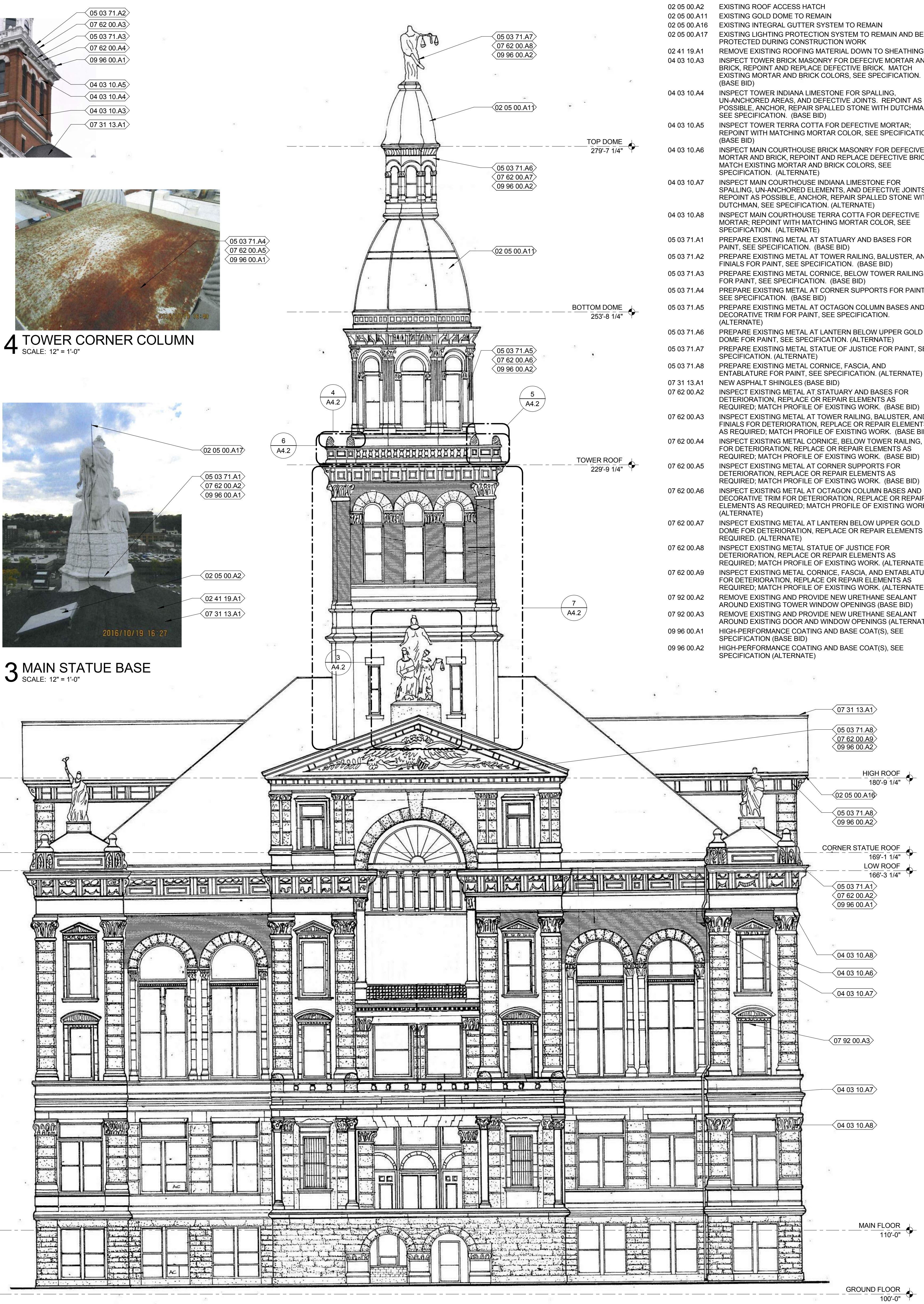
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PUBLIC ALLEY ELEVATION

1 EAST ELEVATION  
SCALE: 1/8" = 1'-0"



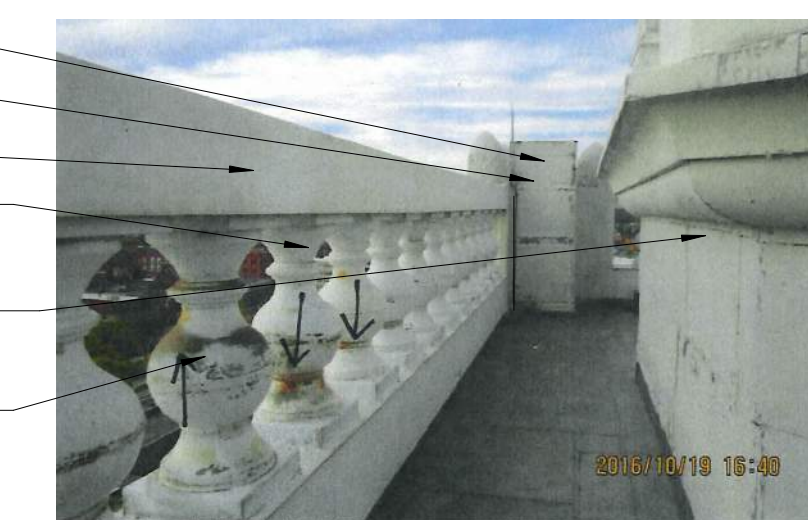
CENTRAL AVENUE ELEVATION

2 WEST ELEVATION  
SCALE: 1/8" = 1'-0"

7 TOWER IMAGE  
SCALE: 12" = 1'-0"



6 TOWER RAILING  
SCALE: 12" = 1'-0"



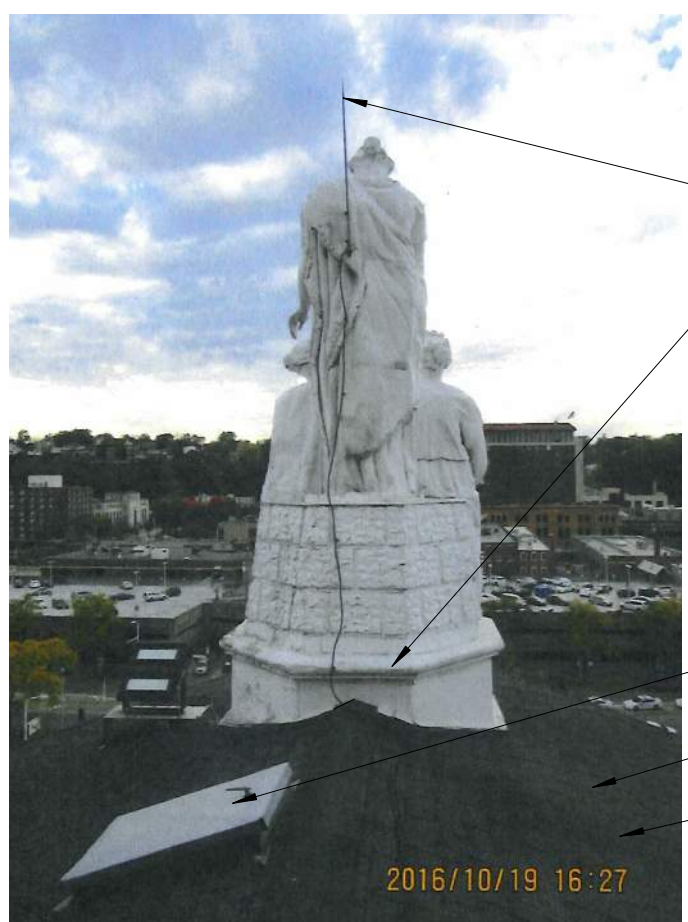
4 TOWER CORNER COLUMN  
SCALE: 12" = 1'-0"



5 TOWER FINAL  
SCALE: 12" = 1'-0"



3 MAIN STATUE BASE  
SCALE: 12" = 1'-0"



KEYNOTES

- 02 05 00.A2 EXISTING ROOF ACCESS HATCH
- 02 05 00.A11 EXISTING GOLD DOME TO REMAIN
- 02 05 00.A16 EXISTING INTEGRAL GUTTER SYSTEM TO REMAIN
- 02 05 00.A17 EXISTING LIGHTING PROTECTION SYSTEM TO REMAIN AND BE PROTECTED DURING CONSTRUCTION WORK
- 02 41 19.A1 REMOVE EXISTING ROOFING MATERIAL DOWN TO SHEATHING
- 04 03 10.A3 INSPECT TOWER BRICK MASONRY FOR DEFECTIVE MORTAR AND BRICK. REPOINT AND REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK COLORS. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A4 INSPECT TOWER INDIANA LIMESTONE FOR SPALLING, UN-ANCHORED AREAS, AND DEFECTIVE JOINTS. REPOINT AS POSSIBLE. ANCHOR, REPAIR SPALLED STONE WITH DUTCHMAN. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A5 INSPECT TOWER TERRA COTTA FOR DEFECTIVE MORTAR. REPOINT WITH MATCHING MORTAR COLOR. SEE SPECIFICATION. (BASE BID)
- 04 03 10.A6 INSPECT MAIN COURTHOUSE BRICK MASONRY FOR DEFECTIVE MORTAR AND BRICK. REPOINT AND REPLACE DEFECTIVE BRICK. MATCH EXISTING MORTAR AND BRICK COLORS. SEE SPECIFICATION. (ALTERNATE)
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- 04 03 10.A8 INSPECT MAIN COURTHOUSE TERRA COTTA FOR DEFECTIVE MORTAR. REPOINT WITH MATCHING MORTAR COLOR. SEE SPECIFICATION. (ALTERNATE)
- 05 03 71.A1 PREPARE EXISTING METAL AT STATUARY AND BASES FOR PAINT. SEE SPECIFICATION. (BASE BID)
- 05 03 71.A2 PREPARE EXISTING METAL AT TOWER RAILING, BALUSTER, AND FINIALS FOR PAINT. SEE SPECIFICATION. (BASE BID)
- 05 03 71.A3 PREPARE EXISTING METAL CORNICE, BELOW TOWER RAILING. FOR PAINT. SEE SPECIFICATION. (BASE BID)
- 05 03 71.A4 PREPARE EXISTING METAL AT CORNER SUPPORTS FOR PAINT. SEE SPECIFICATION. (BASE BID)
- 05 03 71.A5 PREPARE EXISTING METAL AT OCTAGON COLUMN BASES AND DECORATIVE TRIM FOR PAINT. SEE SPECIFICATION. (ALTERNATE)
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- 05 03 71.A7 PREPARE EXISTING METAL STATUE OF JUSTICE FOR PAINT. SEE SPECIFICATION. (ALTERNATE)
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- 07 62 00.A2 INSPECT EXISTING METAL AT STATUARY AND BASES FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED; MATCH PROFILE OF EXISTING WORK. (BASE BID)
- 07 62 00.A3 INSPECT EXISTING METAL AT TOWER RAILING, BALUSTER, AND FINIALS FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED; MATCH PROFILE OF EXISTING WORK. (BASE BID)
- 07 62 00.A4 INSPECT EXISTING METAL CORNICE, BELOW TOWER RAILING, FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED; MATCH PROFILE OF EXISTING WORK. (BASE BID)
- 07 62 00.A5 INSPECT EXISTING METAL AT CORNER SUPPORTS FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED; MATCH PROFILE OF EXISTING WORK. (BASE BID)
- 07 62 00.A6 INSPECT EXISTING METAL AT OCTAGON COLUMN BASES AND DECORATIVE TRIM FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED; MATCH PROFILE OF EXISTING WORK. (ALTERNATE)
- 07 62 00.A7 INSPECT EXISTING METAL AT LANTERN BELOW UPPER GOLD DOME FOR DETERIORATION. REPLACE OR REPAIR ELEMENTS AS REQUIRED. (ALTERNATE)
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- 09 96 00.A1 HIGH-PERFORMANCE COATING AND BASE COAT(S). SEE SPECIFICATION (BASE BID)
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